

## Architectural Standards (Con't)

(See LDC for Complete Standards)

### Paint Colors:

Paint Colors shall be consistent with the Architectural Style. The Architectural Review Board shall adopt historic paint palettes from different manufacturers for use in the Town Center District and examples will be available at the Planning and Zoning Office. The manufacturer of the paint shall not be dictated. These shall be the only colors allowed. Applicants may petition the Architectural Review Board for permission to use other colors.

### Landscaping:

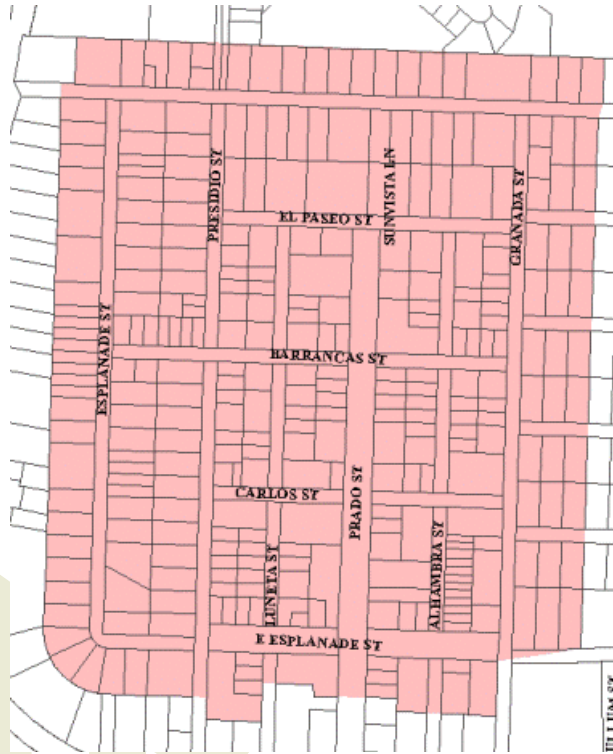
All developers/owners/tenants will be assessed a fee in order to maintain landscaping along the streets and sidewalks of the District.

### Building Height:

1. A building height to street width ration of 1:2 shall be used to control height of all structures within the District.
2. A 10% encroachment above the permitted height shall be allowed for decorative architectural elements.

**PLEASE REFER TO THE SANTA ROSA COUNTY LAND DEVELOPMENT CODE TO OBTAIN COMPLETE INFORMATION REGARDING ALL ARCHITECTURAL STANDARDS IN THE NAVARRE AREA.**

## Navarre Town Center (Conceptual Area Map)



Santa Rosa County

## NAVARRE TOWN CENTER DISTRICT

TOWN CENTER CORE (TC-1)  
TOWN CENTER OUTER (TC-2)  
ZONING DISTRICT  
(EFFECTIVE JUNE 6, 2005)  
(REVISED JAN 23, 2008)

**Research done today, could save you time and money.**

**The information provided in this brochure is extracted from the Santa Rosa County Land Development Code; however, it is the responsibility of the applicant to contact the Planning and Zoning Division to discuss land use issues when a change is desired. This brochure is only to be used as an overall help tool for the general public.**

Santa Rosa County

Community Planning, Zoning and Development Division  
6051 Old Bagdad Highway  
Phone: 850-981-7075, 939-1259  
Fax: 850-983-9874  
Email: [planning-zoning@co.santa-rosa.fl.us](mailto:planning-zoning@co.santa-rosa.fl.us)

**Note: Land Development Code is subject to change.**

## ***Town Center District***

This district shall be a mixed use commercial and residential district. The core area of the Town Center (TC-1) shall generally include that area bordered by Esplanade on the south, El Paseo on the north, Alhambra on the east and Luneta on the West. The outer area of the Town Center (TC-2) will include those areas outside of the TC-1 District. This district is intended to encourage pedestrian traffic, but will allow for vehicles on all public roadways.

The district will be characterized by slow moving vehicular traffic, lively pedestrian walkways, small-scale commercial development and varied architecture. The district is intended to function as the core town center for the Navarre area. Public and private uses areas shall be provided for within the District.

### ***Permitted Uses TC-1***

The following uses shall not be permitted in the TC-1 district:

1. Industrial uses
2. Drive-through restaurants
3. Storage uses
4. Auto sales or repair
5. Pawn shops
6. Gas stations

No use deemed to be outside the character of the district shall be permitted.

The first floor of all development in the TC-1 district shall be uses that generate high levels of pedestrian traffic such as retail or restaurant. Active service uses such as hair salons shall be allowed on the first floor, but no passive office uses shall be permitted. Office uses, retail, and residential loft-style uses shall be permitted on the second floor.

## ***Permitted Uses TC-2***

The following uses shall not be permitted in the TC-2 district:

1. Industrial uses
2. Drive-through restaurants
3. Storage uses
4. Auto sales or repair
5. Pawn shops
6. Gas stations

No use deemed to be outside the character of the district shall be permitted.

Office, restaurant, retail, service and residential and similar uses are allowed.

### ***Yard Restrictions***

There shall be no required setbacks in the Town Center. Development is encouraged to build to front and side property lines. Vehicular alleyways to rear-of-building parking shall be considered only when no other connection exists on the affected street. Vehicular alleyway connections to Prado and Esplanade shall not be permitted.

No buffers will be required between uses within the Town Center District. For purposes of applying Landscape Buffers (7.01.05) between development in the Town Center and adjacent districts and uses, the TC-1 zoning district shall be considered a Residential Class II Use.

## ***Density***

Residential density within the TC-1 or TC-2 district shall be no more than ten (10) units per acre.

## ***Architectural Standards***

(See LDC for Complete Standards)

Permitted Styles:

Neoclassical  
Caribbean Vernacular  
Cracker  
Georgian  
French Colonial  
Bungalow  
Queen Anne  
Masonry Vernacular

No metal, vinyl or aluminum siding or exposed cinder block shall be permitted in the Town Center.

Fences:

Fences should be lower in the front than in the rear of the structure. In addition, the following shall be required:

1. No chain link shall be permitted.
2. Fence shall be in the same style as the main structure.
3. Wrought iron or aluminum "look-alike" may be allowed.
4. Hedges may function as fences.

Windows:

1. No full glass front allowed.
2. No vinyl windows shall be permitted.
3. Windows shall be consistent with the architectural Standards.